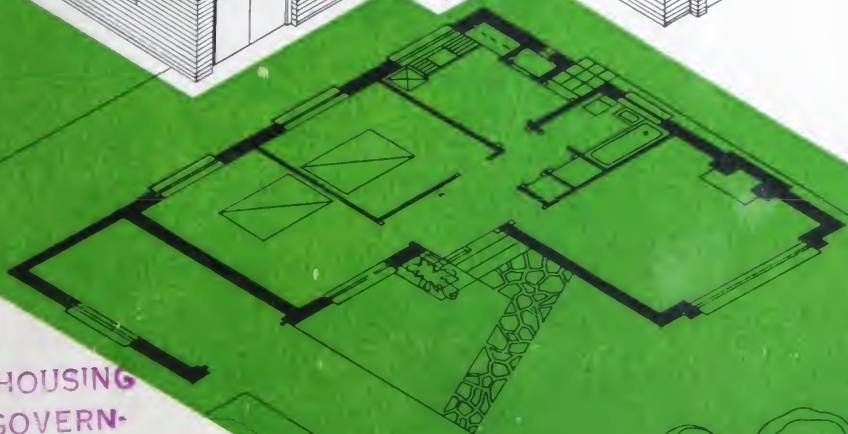
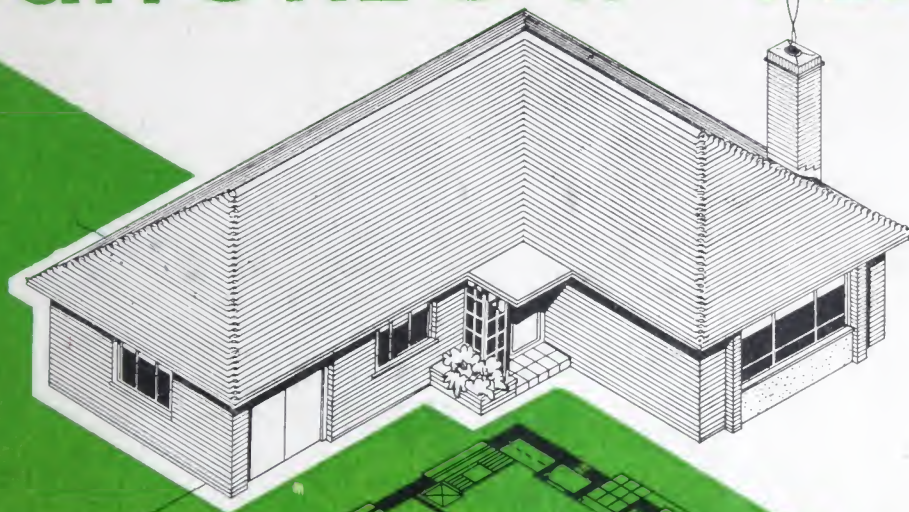


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BUNGALOW PLAN BOOK

First Edition 1955

SECOND EDITION 1957

CONSULTANT ARCHITECT

J. SCOTT THOMPSON, A.R.I.B.A.



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PUBLISHERS' PREFACE

This book is published to fulfil an insistent and steadily increasing demand from people already owning, or about to purchase, a small plot of land on which they propose to have a bungalow built to their own requirements, and who want to buy a Plan Book giving them a variety of ideas on designs for single storey residences.

All the 20 plans in our book have been specially prepared for us by a qualified architect who has had much experience in planning modern homes. Careful design making the best use of the available space and economy in construction is evident throughout.

The inexperienced man often wishes to know if it is advisable to have a new house or bungalow designed by an architect and our answer to this question is most definitely "Yes". The expenditure involved in architect's fees is money well spent and can often result ultimately in a net saving in the overall cost.

Amongst the plans illustrated, there may well be one which exactly fulfils your requirements in which case your main problems are solved, for you would then only have to obtain the architect's permission and pay certain fees for the use of his design. However, when this book was envisaged, it was realised that many people would like certain features in one or more of the designs but would not necessarily find the exact lay-out they required. When this occurs, it is suggested that you ask an architect to prepare sketches incorporating your requirements for your approval. When the plan is settled the architect can, if you wish, obtain bye-law and planning consent from the

Local Authority, prepare a specification and obtain competitive tenders from builders, draw up the building contract, place the order for you, and supervise the erection throughout. You would then pay the architect his full scale of fees. Should you decide to use the architect's services only for the preparation of plans and/or specification and you yourself choose the builder to carry out the construction, it is still possible to ensure that your property is built to a satisfactory standard especially if your contractor is a member of the National House-Builders Registration Council. Your contractor will then undertake to comply with a certain approved standard of construction and enter into an agreement with you to make good at his own expense and within a reasonable time all defects attributable to non-compliance with the Council's standards which occur and are reported to him during a period of two years. Furthermore, all his work will be inspected by the Council's officials some four or more times as building progresses.

In conclusion we would like to draw your attention to "The Homefinder" Enquiry Bureau which will be pleased to supply you with further information on any matter raised in this book, or to give you advice on your House Purchase problems. We have over 45 years' experience in assisting the property-seeking public and we make no charge for this service. All you have to do is complete the coupon at the back of the book and send it with a stamped addressed envelope to: Enquiry Bureau, "The Homefinder", Wool Exchange, Coleman Street, E.C.2.

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INTRODUCTION BY THE AUTHOR OF THE ILLUSTRATED DESIGNS,

J. SCOTT THOMPSON, A.R.I.B.A., CHARTERED ARCHITECT

After the decision was made by *The Homefinder* to publish "The Bungalow Plan Book" I was privileged to be commissioned to prepare the series of 20 designs which appear in this book. Conferences were held when the subject matter was discussed in detail keeping in mind all the time the requirements of the average person wishing to build a bungalow. Within the limitations of a small book, a target of 20 different designs was considered suitable as a basis which could illustrate differing plans showing average accommodation and varying aspects for unspecified sites.

It was soon apparent that from the many alternative designs that could be produced, certain broad principles would have to be kept in mind and these are reproduced here for the readers guidance in studying the plans :—

1. The plans should be easily read and consistently prepared so that easy comparisons could be made one with the other.
2. Room sizes should be shown on the plans.
3. Elevations should be simply expressed without undue accent on particular features.
4. Avoid extreme of styles in elevational treatment so that all designs have the widest possible appeal.
5. Avoid waste of valuable floor space and dark corridors.
6. Consider efficiency of compact plumbing arrangements wherever possible, bearing in mind relationship of water heating arrange-

ments and fireplaces centrally situated on internal walls.

7. Provide in all designs certain desirable incidental features such as built-in cloaks cupboard and meter cupboard in hall.

8. Consider detached and semi-detached types, chalet and extendable types, varying aspects and accommodation, etc.

9. Consider economy in frontage widths of sites due to the prevailing high cost of land, but not to the exclusion of designs where greater frontage may or can be available.

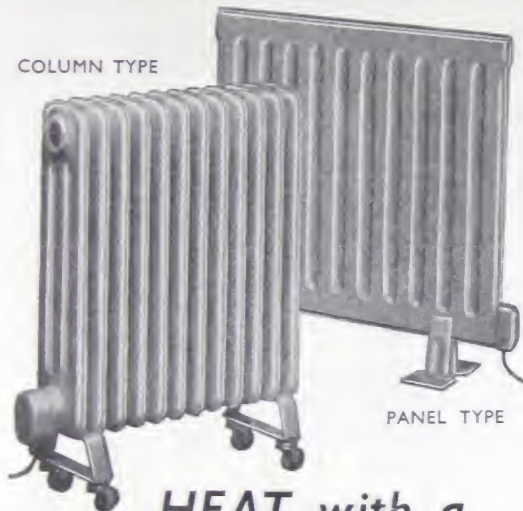
10. Finally consider, of great importance, economy in design and construction.

The designs as far as the plans are concerned have been intentionally prepared with a universal appeal. In order not to confuse the reader and to make for easy comparison, the elevations have been shown in a consistently simple but none the less attractive manner.

I have found from experience that the average person intent on building a small house or bungalow to-day seems to realise that a particular plan can be modified in detail layout or shape, but in doing so, great care has to be exercised in preventing one advantage creating other disadvantages. There is, of course, far more latitude in the design for a bungalow than that for a house where the inter-relationship of the two floors is more complex due, more than anything else, to the position of the staircase. Most architects will have met the client who has attempted to plan

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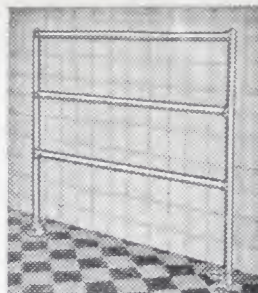
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a small house and having reached the difficulties of working out the staircase, tells him "I leave this part of it to you."

This is not to say, however, that to design a bungalow really successfully is a simple matter, for the same client endeavouring to cope with a plan for a bungalow will sometimes confront his architect with sketches showing a series of rooms entered off long dark unlit corridors.

Any one of the plans in this book could, for example, be "mirror reversed" if the aspect of a particular site or an attractive view suggested this, without upsetting the design as a whole. An example of this will be found in the illustrations. External materials could be varied as for example by the adoption of face brickwork in lieu of a cement rendered finish or, perhaps, colour washed brickwork in lieu of cement rendering. Again, individual preferences are often expressed for windows with leaded lights, or windows with horizontal glazing bars, windows with larger squares of glass and so on. The use of local materials can often bring about a far more satisfactory result than by the costly expedient of "importing" building materials from some more distantly situated district. Internally, room sizes can sometimes be adjusted to family needs. Many other points will need to be considered.

The aim therefore should be to ensure that the bungalow (or, for that matter, any other building) is as nearly as possible "tailor made" to individual measurements and requirements. The broader appeal of the bungalow built by the Estate Developers fulfils its purpose in other ways, the chief of which being that the less "tailor made" result is accepted on considerations of cost. Even

so, estate development as we know it to-day is on a more improved and satisfactory basis than in the immediate pre-war period when the conventional "semi-detached" was so universally featured. There are many instances where this type of house is being built to-day, but with improvements in planning, construction, insulation and other amenities. Perhaps it is the high cost of building which has produced an informed discriminating purchaser. Certainly in my own experience dealing with private and estate developers I have found this to be the case.

The brief descriptive notes opposite each of the designs illustrated in this book will be found to explain various points about each design and the previous remarks with regard to modifications should be considered when studying the plans.

The figures given for the floor areas are measured, in all cases, within the external containing walls of the bungalow designs and exclude the area of garages.

The figures given for the approximate costs in each case must be regarded only as a guide, since this will vary according to differing conditions and locality. The cost of facing bricks, for example, can vary between say £5 or more per thousand and on the assumption that say ten thousand such bricks were required, the possible variation might be as much as £50 for facing bricks alone. Again, the cost of floor finishes can vary by as much as £1 for every square yard of flooring. Readers will therefore appreciate that no responsibility can be accepted for tender figures that might be found to be at variance with the approximate estimates given against each design.

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The figures given for the minimum site widths are again given as a guide for, with Town Planning restrictions and other considerations, it might not be possible to site a particular bungalow on a certain site of the width given in the text. It is often advisable to discuss the case with the appropriate technical officers to the Local Planning

Authority who can usually assess the circumstances and advise accordingly. Readers will again appreciate that no responsibility can be accepted for the figures given under this heading.

It is hoped that this little book will help the prospective bungalow owner in his or her search for the germ at least of an idea which will prove of lasting satisfaction in the pride of home ownership which is so much a part of our long standing tradition.

ABBREVIATIONS USED ON PLANS

B.	Boiler	M.	Meter Cupboard
C.	Cupboard	RAD.	Radiator
D.	Dresser	S.	Sink
F.	Fuel Store	S.H.	Serving Hatch
L.	Larder	ST.	Store
LIN.	Linen Cupboard	T.	Table

EDITORIAL NOTE

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All enquiries should be addressed to the "Homefinder Enquiry Bureau", Wool Exchange, Coleman Street, London, E.C.2.

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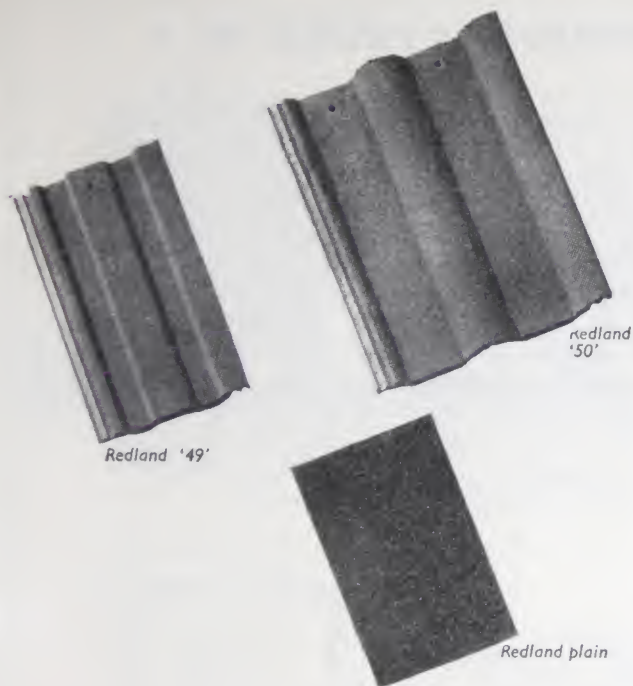
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HOMEFINDER DESIGN No. 1

This attractive bungalow is designed to include several features found in current domestic planning, viz. separation between living and sleeping units, breakfast bar meals space in kitchen, combined lounge with dining recess having direct access to kitchen, garage with fuel stores and covered lobby at rear under the main roof and compact plumbing and drainage arrangements.

The large lounge has a fireplace fitted with back boiler immediately adjacent to the linen cupboard in which the hot water cylinder would be installed. A domestic boiler could also be provided in the kitchen if required. The centrally positioned fireplace ensures the utmost efficiency from the minimum fuel consumption, and enables several small radiators to be installed with little difficulty.

Floor Area :

820 ft. super, excluding garage.

Approximate Cost :

£2,750-£3,200, including garage.

Minimum Site Width :

Approximately 53 ft.

Suitable Aspect :

Any aspect except facing north.

Construction :

11-inch hollow brickwork, cement finished or colour washed externally, facing brick plinth, pantiles or interlocking tiles to roof. Artificial stone flower box in front of wide steel casement picture window to lounge, quarry tiles or stone paving to porch, thermal insulation to roof.

HOMEFINDER DESIGN No. 2

Unlike Design No. 1 this bungalow is more suitable for a narrow site, with its entrance at the side, the position for a detached garage, if required, being at the rear and to the side. Here again the plumbing arrangements have been centralised and compactly planned with a back boiler and linen cupboard adjacent so as to minimise heat losses.

The lounge has serving hatch access to kitchen. The bedrooms are grouped together. Linen and meter cupboards are centrally positioned in hall, part of the meter cupboard being available for use as a hanging cupboard. This bungalow could be built semi-detached if required.

Floor Area :

850 ft. super.

Approximate Cost :

£2,600-£3,000.

Minimum Site Width :

38 ft. 6 in.

Suitable Aspect :

East-West.

Construction :

11-inch hollow brickwork, cement rendered finish externally or colour washed brickwork above multi-coloured stock brick plinth, plain dark brown clay or concrete tiles to roof with thermal insulation, galvanised painted standard steel casements in wood surrounds, wheel tracks to garage runway to avoid dreary expanse of concrete.

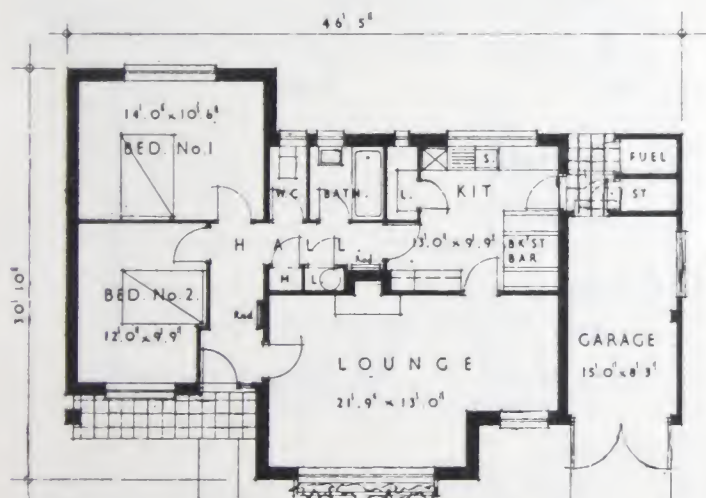


FRONT ELEVATION



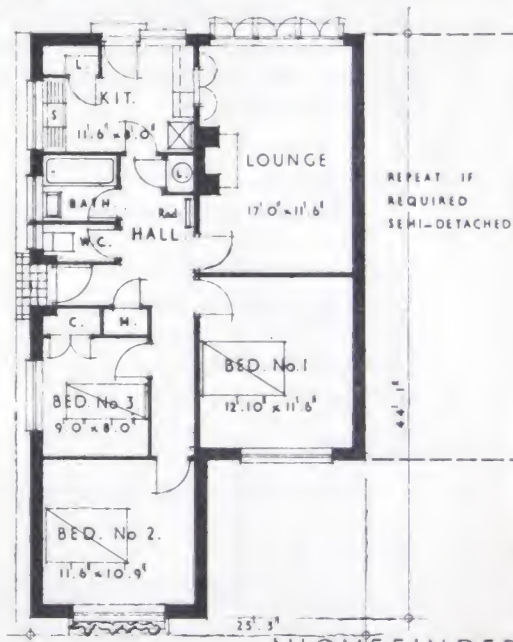
POSITION FOR GARAGE

FRONT ELEVATION



HOMEFINDER
DESIGN No. 1

SCALE OF FEET



HOMEFINDER
DESIGN No. 2

HOMEFINDER DESIGN No. 3

An attractive method of economising in the frontage width of a building plot is shown in this design where a wide frontage type of plan is preferred. The projecting garage is attached to the bungalow forming a "stop" at one end to the front elevation and combines with a slightly recessed broad feature with more deeply recessed porch. The wide picture window extends across the combined lounge and dining recess overlooking the garden at the rear.

The centrally positioned fireplace in the lounge and domestic boiler in the kitchen are connected to a centrally placed chimney stack. Hot water radiators can be installed. Access to the kitchen, garage and fuel store can be obtained from the covered porch.

Floor Area :

1,000 ft. super, excluding garage.

Approximate Cost :

£3,250-£3,600, including garage.

Minimum Site Width :

50 ft.

Suitable Aspect :

Any aspect, except facing south.

Construction :

11-inch hollow brickwork, multi-coloured stock facings except to recessed porch feature in coloured washed textured brickwork. Plain tiled roof with bonnet hips and thermal insulation. Artificial stone paved terrace. Galvanised steel casements in wood surrounds.

HOMEFINDER DESIGN No. 4

The scarcity and high cost of building land need not necessarily act as a deterrent to the production of a charming little bungalow as may be seen in this example. The plan is arranged to provide separated living and bedroom areas with a spacious lounge and added dining recess with serving hatch immediately next to the kitchen. Note the window seat overlooking the garden at the rear. The corridor is inevitably rather longer than desirable, due to a narrow frontage plan but is, nevertheless, well lighted and ventilated at each end.

A garage, if required, would have to be arranged as a detached building at one side, perhaps adjacent to the chimney breast around the fireplace to the lounge, which would avoid this wall being exposed.

Floor Area :

875 ft. super.

Approximate Cost :

£2,700-£3,000.

Minimum Site Width :

40 ft. to provide width for garage.

Suitable Aspect :

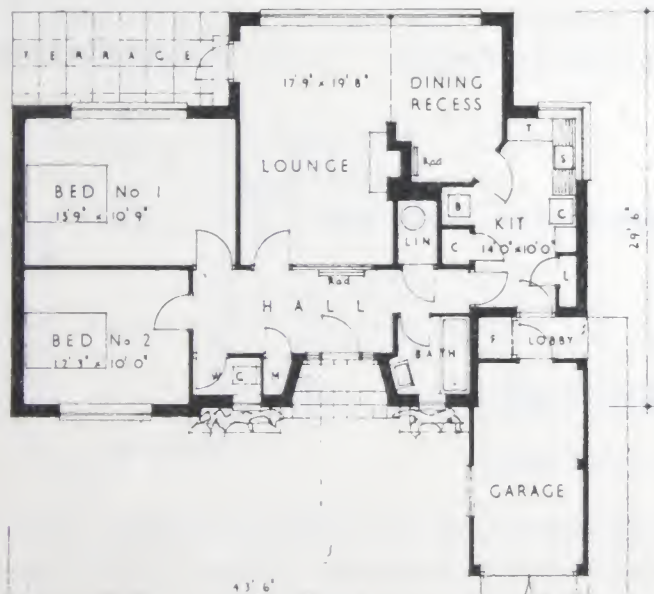
Any aspect except facing south.

Construction :

11-inch hollow brickwork, face brickwork except to porch entrance feature to be finished with colour washed brickwork or textured cement rendering projecting artificial stone surrounds to windows of front bedroom, and lounge. Plain tiled roof, compact grouping of plumbing and drainage, domestic boiler in kitchen.



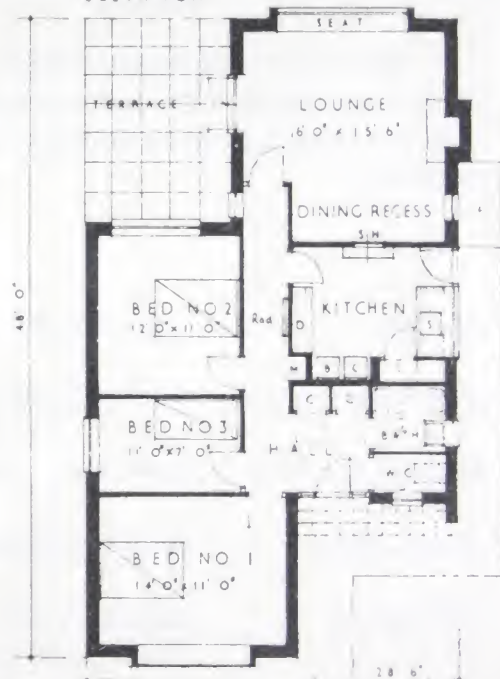
FRONT ELEVATION



SCALE OF FEET

HOMEFINDER
DESIGN NO. 3

ELEVATION



HOMEFINDER
DESIGN NO. 4

HOMEFINDER DESIGN No. 5

This design is particularly suitable for a corner site with consequent alternative positions for the garage. As a further alternative the garage could be built attached to the main walls of the bungalow in either position with the main roof extended over. The hall and corridor is particularly well lighted. Provision could be made for the later extension of an additional bedroom as shown.

Typical of many plans in this book, the plumbing and drainage is grouped for efficiency and economy in constructional costs.

The corner shaped bay window to lounge could be omitted if necessary or carried out in various alternative methods. The hall is well provided with cupboards. The compact grouping of lounge, dining room and kitchen forms an attractive labour-saving feature of the plan. A corner window is provided to the kitchen.

Floor Area : 1,000 ft. super.

Approximate Cost : £3,000-£3,350.

Minimum Site Width : About 65 ft. according to Building Line, etc.

Suitable Aspect : Main elevations all aspects except north.

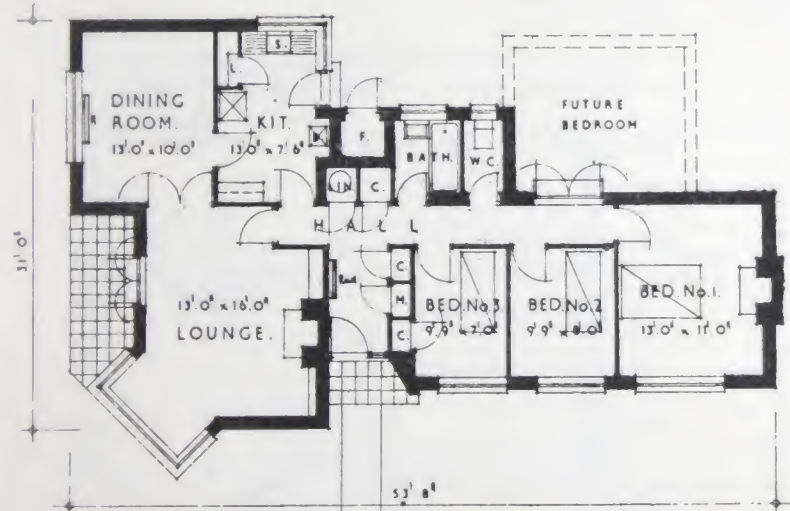
Construction : External walls in cavity construction in multi-coloured stock facings, plain tiled roof with thermal insulation, galvanised steel casement windows in wood surrounds, artificial stone flower boxes under bedroom and dining room windows, polished hardwood block floors to lounge and dining recess, thermoplastic tiles elsewhere.



FRONT ELEVATION

SIDE ELEVATION

ALTERNATIVE POSITION
FOR GARAGE



ALTERNATIVE
POSITION FOR
GARAGE

HOMEFINDER
DESIGN No. 5

HOMEFINDER DESIGN No. 6

Here is a simple symmetrical double-fronted bungalow offering another solution to the much sought after labour-saving layout. There is an air of spaciousness to the lounge-dining recess-kitchen unit with all the benefits of a "through" room. A pass door between the kitchen and dining recess saves unnecessary traffic via the hall and lounge.

The centrally positioned chimney stack allows for a continuous burning fire in the lounge and domestic boiler in the kitchen from which the hot water cylinder in the adjoining linen cupboard can be conveniently arranged. Hot water radiators can be provided in a case like this with very little difficulty.

Floor Area :

950 ft. super.

Approximate Cost :

£2,850-£3,250.

Minimum Site Width :

45 ft. plus 5 ft. if garage required.

Suitable Aspect :

All aspects except north.

Construction :

11-inch hollow brickwork facings externally textured and tinted cement rendering to porch. Plain tile roof with bonnet hips, galvanised steel windows in wood surrounds with french casement doors to terrace.

HOMEFINDER DESIGN No. 7

Although suitable for a narrow frontage site, this compact little plan provides all the amenities of the more expensive type of bungalow. Here again the same basic principles of the internal chimney stack have been adopted. This problem sometimes creates a "loss of comfort" due to the space around the fireplace being in the line of draughts, but in this case the lounge fireplace is screened by the partition wall at the end of the hall.

The plan shows doorway access between the kitchen and dining part of lounge, without direct access from kitchen to hall, but any modifications could be made here according to individual requirements.

Note the broad expanse of terrace with protecting wing walls at the rear of the lounge.

Floor Area :

750 ft. super.

Approximate Cost :

£2,250-£2,600.

Minimum Site Width :

37 ft. 6 in. plus 5 ft. if garage required.

Suitable Aspect :

All except due south.

Construction :

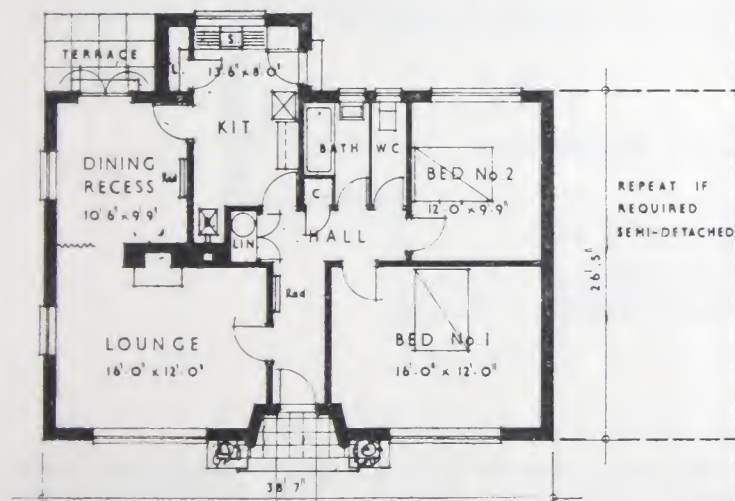
11-inch hollow brickwork tinted and textured cement rendered porch and recessed feature front elevation, artificial stone window box, plain tiled roof, some paving to terrace, quarry tiles to front entrance porch.



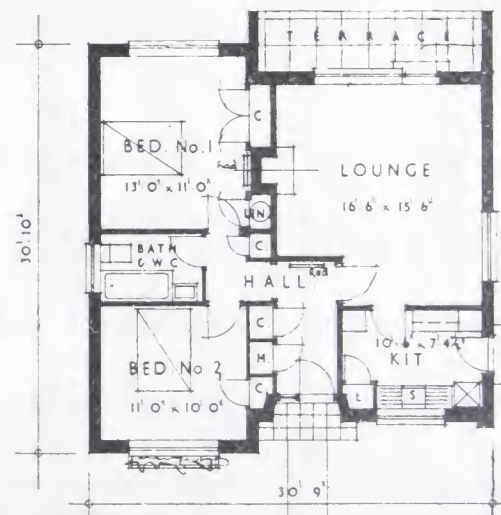
FRONT ELEVATION



FRONT ELEVATION



HOMEFINDER
DESIGN No 6



HOMEFINDER
DESIGN No 7

SCALE OF FEET

HOMEFINDER DESIGN No. 8

This three-bedroom bungalow with its irregular shaped plan although requiring a wide frontage site has many attractive features. The lounge-dining room-kitchen unit is similar to other examples in this book.

The internal position of the continuous burning inset fire with back boiler in the dining room from which two or perhaps three radiators could be inter-connected would be a great asset during the winter months. The bedroom group with bathroom near at hand is planned almost as a separate unit.

The garage is linked on to the main building by the extension of the main roof providing a covered way between kitchen and fuel store with access to garage also under cover.

Note the corner window to dining room and the curved bay to give depth to lounge. A casement door is provided from lounge to terrace.

The front entrance is treated in a broad manner with flower boxes flanking the paved floor to porch.

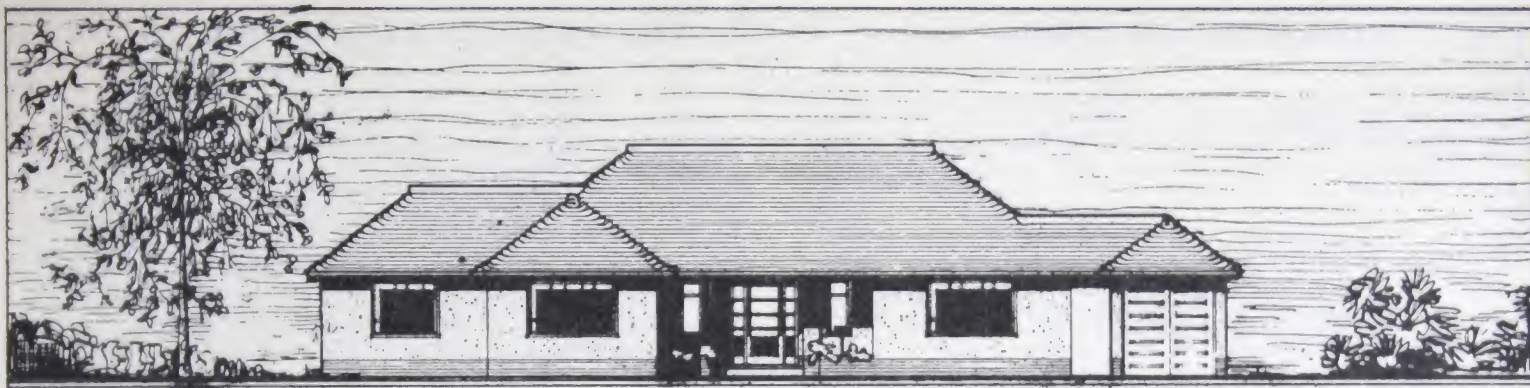
Floor Area : 1,120 ft. super, excluding garage and fuel store.

Approximate Cost : £3,350-£3,750 ; plus garage, etc. say £300.

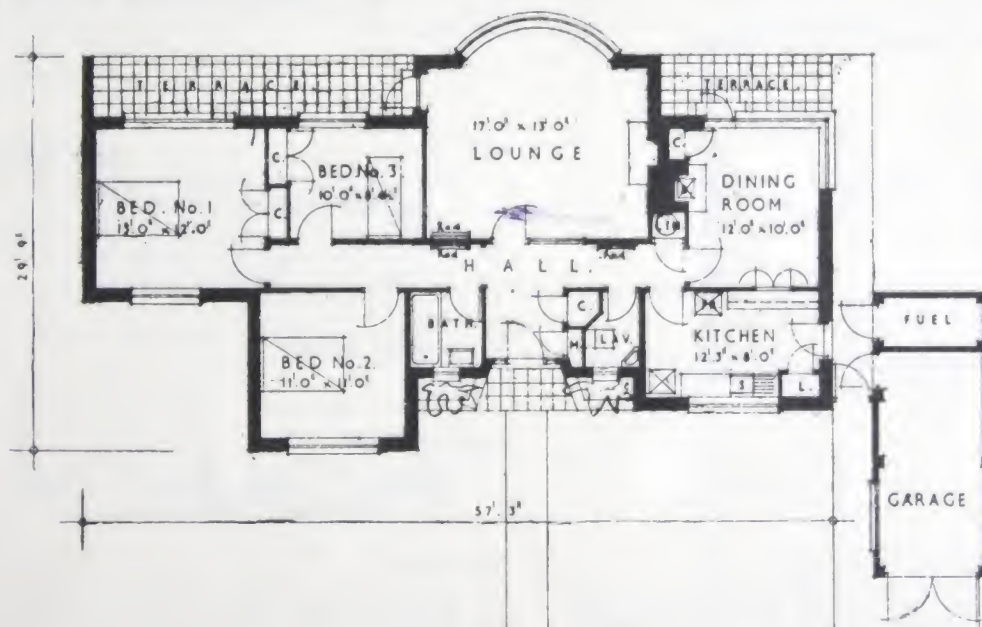
Minimum Site Width : Approximately 75 ft. to provide for garage as shown.

Suitable Aspect : All except due south.

Construction : 11-inch hollow brickwork with multi-coloured stocks for plinth, cement rendering or colour washed rustic facings for elevations generally. Brick built flower boxes at each side of recessed porch feature to front elevation. Plain tiled roof with bonnet hips and thermal insulation extended over garage.



FRONT ELEVATION



SCALE OF FEET

HOMEFINDER
DESIGN No. 8

HOMEFINDER DESIGN No. 9

This design could be adapted for use on a corner plot, the position of the garage being adjusted to suit the site conditions and aspect.

It is suggested in this case that a conventional open fireplace be provided in the lounge and a domestic boiler in the kitchen to which would be connected the hot water cylinder in the linen cupboard adjacent.

Floor Area :

750 ft. super.

Approximate Cost :

£2,250-£2,500 (excluding garage).

Minimum Site Width :

58 ft. with garage where shown on corner plot assuming 25 ft. building line.

55 ft. on normal plot with garage placed at either end of bungalow.

Suitable Aspect :

All except north.

Construction :

11-inch hollow brickwork with facing bricks externally and tinted cement rendering to panel between square bays. Plain tiled roof extended over bay windows at front and possibly over garage according to position.

HOMEFINDER DESIGN No. 10

This arrangement illustrates a solution to the problem of building a bungalow with a garage on a 40 ft. wide plot of land, but at the same time making the utmost use of all the available floor area by the reduction of circulating space in the hall and corridor. The garage is attached to the front of the building as shown. The square type plan with simple roof construction and compact plumbing arrangements helps to reduce building costs.

This design is particularly suitable where the rear of the building would receive plenty of sunshine.

Floor Area :

820 ft. super (excluding garage).

Approximate Cost :

£2,700-£3,100 including garage.

Minimum Site Width :

40 ft.

Suitable Aspect :

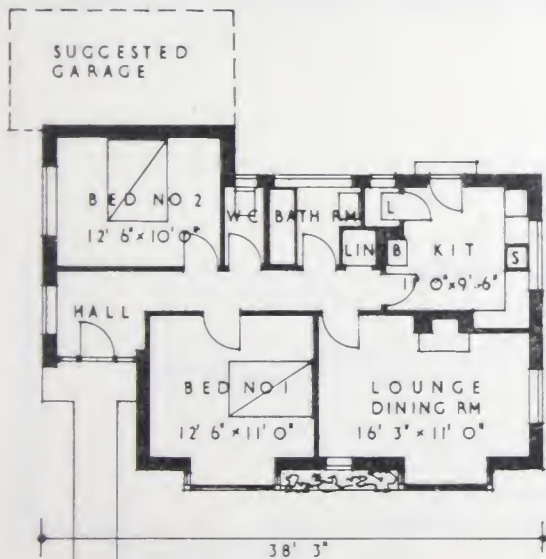
Any aspect except due south (to prevent rear of building facing north).

Construction :

11-inch hollow brickwork, multi-coloured stock facings except to part front elevation in either textured rough-cast or colour washed brickwork. Interlocking tiles or perhaps pantiles for roof. Flat roof to garage.

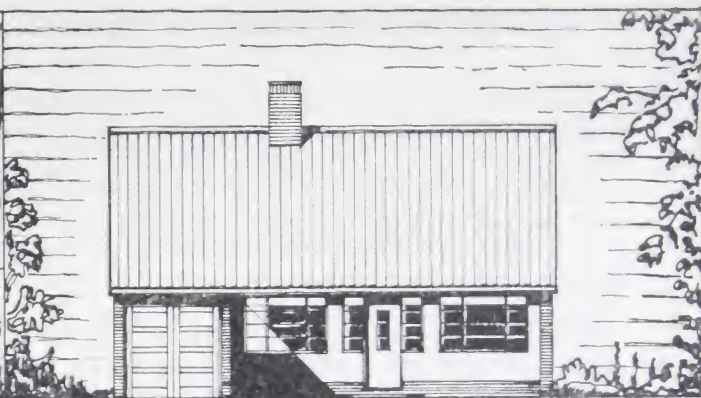


FRONT ELEVATION

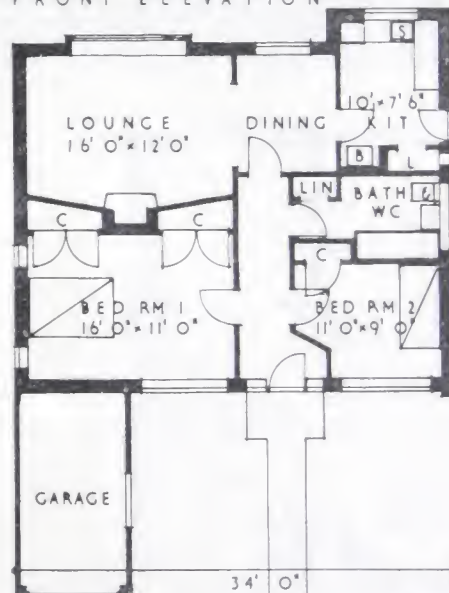


HOMEFINDER
DESIGN NO 9

SCALE OF FEET



FRONT ELEVATION



HOMEFINDER
DESIGN NO. 10

HOMEFINDER DESIGN No. 11

A modern plan type of bungalow with lounge-dining recess-kitchen unit giving the air of spaciousness which is so attractive and having the advantages of a through room. Note the wide front picture window to lounge with seat internally and window box externally—a really delightful feature.

The bedroom unit is separated by the well lit and minimum space hall from which also leads the combined bathroom and w.c. so compactly arranged near to the two bedrooms. Note the 'open' but covered lobby access to the kitchen with fuel stores close at hand. This design avoids any suggestion of fussiness with its simple gable ended roof.

Floor Area :

800 ft. super.

Approximate Cost :

£2,400-£2,700.

Minimum Site Width :

50 ft. or 55 ft. if garage required.

Suitable Aspect :

Preferably west-east.

Construction :

11-inch hollow brickwork faced with multi-coloured stocks or sand faced bricks, plain tiled roof with thermal insulation, galvanised steel casements in wood surrounds.

HOMEFINDER DESIGN No. 12

Although this bungalow has a similarity with Homefinder Design No. 10, the increase in floor area has been used to expand the kitchen in order that this can be used as a kitchen-breakfast room with its own fireplace in which could be installed an inset slow combustion continuous burning stove with back boiler next to the lounge fireplace. Note the nearness to linen cupboard and compact drainage arrangements together with the square plan which lead to economy in construction.

The main roof is extended over the two bay windows to the bedrooms on the front elevation in order to avoid a "tacked on" appearance.

Floor Area :

835 ft. super.

Approximate Cost :

£2,500-£2,850.

Minimum Site Width :

35 ft. or 40 ft. if garage required.

Suitable Aspect :

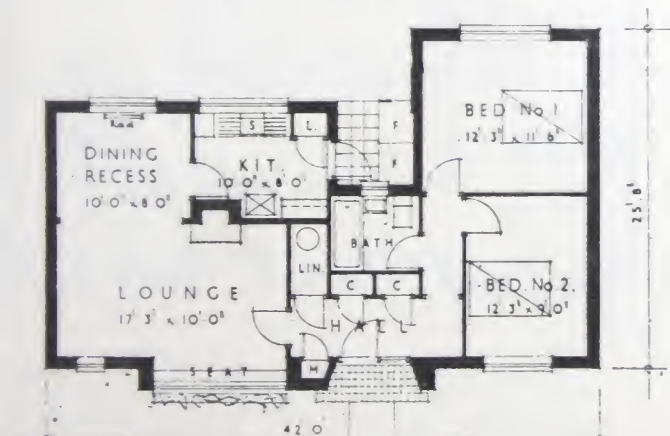
All except due south.

Construction :

11-inch hollow brickwork plain tiled roof, galvanised steel standard casement windows, brick built flower boxes each side of recessed porch entrance.



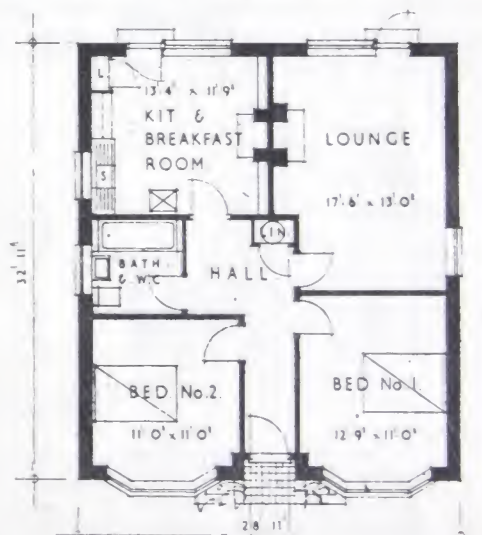
FRONT ELEVATION



HOMEFINDER
DESIGN No. 11



FRONT ELEVATION



HOMEFINDER
DESIGN No. 12

SCALE OF FEET

HOMEFINDER DESIGN No. 13

An interesting example of the type of temporary plan is shown here where there is complete segregation of the living and sleeping sections. Such an arrangement must inevitably complicate the plumbing and drainage but many authorities consider that the advantages of such a plan more than outweigh the disadvantages. A continuous burning inset fire with high output back boiler is installed in the dining room fireplace from which as many as five radiators can be arranged in convenient positions. Note the inglenook fireplace to lounge with small windows on either side.

The plan is adjustable to some extent for aspect where, for instance, it would be possible to place the lounge fireplace on the rear wall if the view and aspect suggested the wider window and casement doors to the front.

Floor Area :

975 ft. super.

Approximate Cost :

£2,950-£3,250.

Minimum Site Width :

56 ft. or 65 ft. if garage required.

Suitable Aspect :

Adjustable.

Construction :

11-inch hollow brickwork with facing brick plinth tinted textured cement rendering or colour washed brickwork above except to chimney stack with patterned headers, plain dark brown clay tiled roof. "Noelite" artificial stone paving to terrace enclosed with hollow brick flower box. French casement doors from dining room and lounge to terrace.

HOMEFINDER DESIGN No. 14

Here is an extendable bungalow. The plan shows the minimum initial accommodation and the addition of two future bedrooms with built-in cupboards at which time the original bedroom would become the dining room. The extension could be added with very little disturbance internally and the idea sometimes appeals to newly weds—larger family—larger bungalow! The original design could be quite attractive on its own and is certainly economical from many points of view.

The lounge has a bay window overlooking the garden at the rear and the kitchen a corner window on the front elevation.

Floor Area :

First Section 510 ft. super. Second Section 290 ft super. Total 800 ft. super.

Approximate Cost :

First Section £1,500-£1,700. Second Section £900-£1,100.

Minimum Site Width :

45 ft. for First and Second Section. 50 ft. if garage required.

Suitable Aspect :

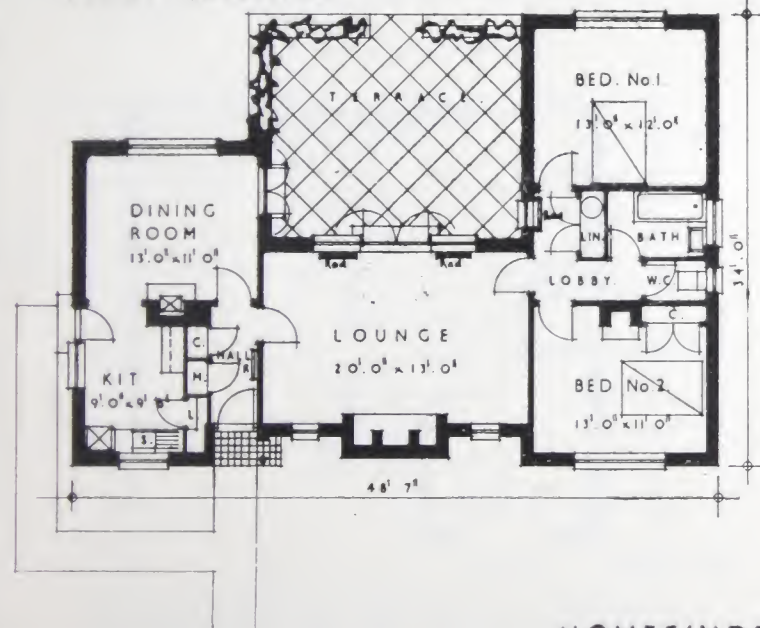
All except due south.

Construction :

11-inch hollow brickwork rendered or colour washed externally above low face brick plinth, low pitch interlocking tiled roof, back boiler to fireplace in lounge connected to hot water cylinder in linen cupboard (immersion heater for summer use). Provision to be made for additions in original construction.



FRONT ELEVATION

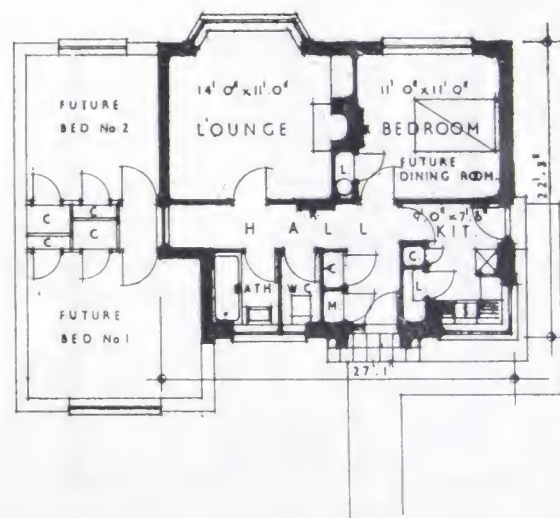


HOMEFINDER
DESIGN No 13

SCALE OF FEET



FRONT ELEVATION



HOMEFINDER
DESIGN No 14

HOMEFINDER DESIGN No. 15

Simplicity of line and detail is so self evident in this design that perhaps the usual descriptive wording "attractive" could only be an understatement. The plan shows the lounge, dining recess and kitchen unit compactly arranged but with a spaciousness that makes the best use of the living space.

The central fireplace could be either as shown or in the alternative position where indicated by dotted lines, but in either case fitted with back boiler or domestic boiler in kitchen as required.

The bungalow could be built semi-detached if required.

Floor Area :

875 ft. super.

Approximate Cost :

£2,600-£3,000.

Minimum Site Width :

44 ft. or 50 ft. if garage required.

Suitable Aspect :

All except due north and south.

Construction :

11-inch hollow brickwork, cement finish externally, tarred smooth face plinth, colour washed corrugated asbestos or V-jointed boarding to gable over bay window front elevation, brick built flower box to recessed porch with quarry tiled paving.

HOMEFINDER DESIGN No. 16

A three-bedroom bungalow with large kitchen having provision for many current features including corner breakfast bar, spacious lounge with bay window, internal position for fireplace and covered lobby entrance to kitchen and fuel store. The main roof is extended over the front entrance porch.

This is another example of the economical to build square type of plan where the frontage width of the site is a little restricted.

Floor Area :

900 ft. super.

Approximate Cost :

£2,700-£3,000.

Minimum Site Width :

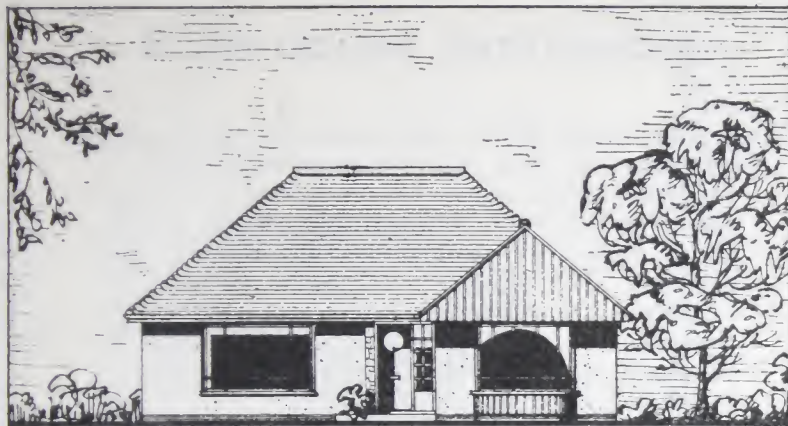
40 ft. or 45 ft. if garage required.

Suitable Aspect :

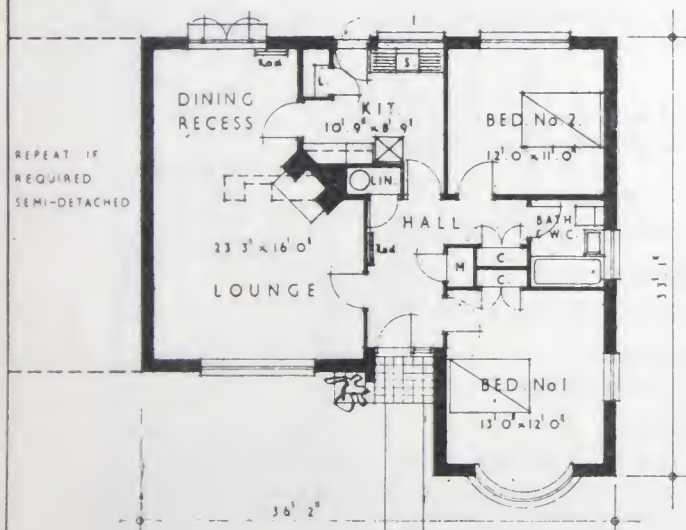
All except due north.

Construction :

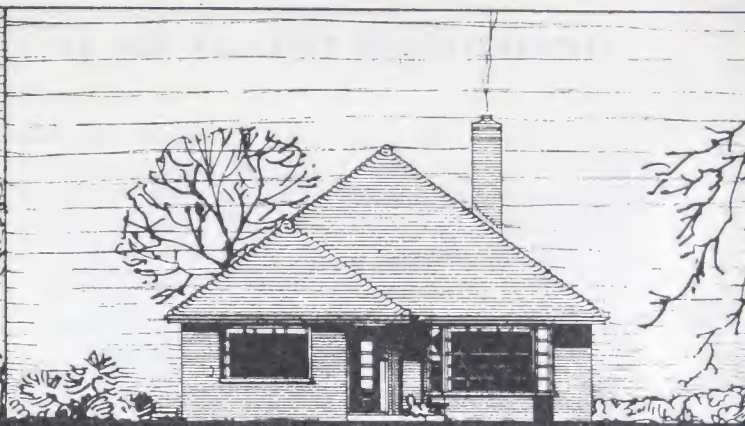
11-inch hollow brickwork with multi-coloured stock or sand faced facing bricks, plain tiled roof with thermal insulation, standard steel casement windows with horizontal glazing bars.



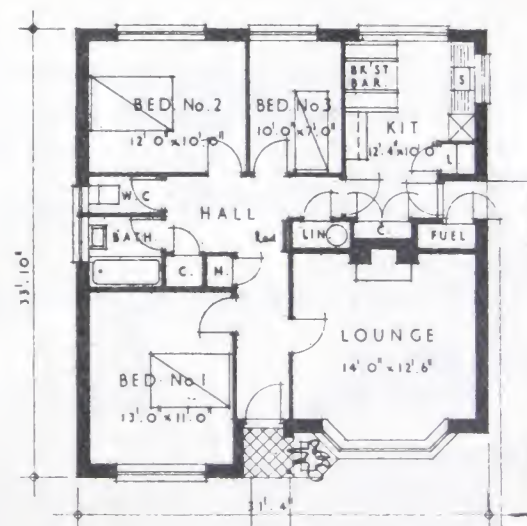
FRONT ELEVATION



HOMEFINDER
DESIGN No. 15



FRONT ELEVATION



HOMEFINDER
DESIGN No. 16

SCALE OF FEET

HOMEFINDER DESIGN No. 17

The basis of this plan is by no means new but with careful application can be given an attractive appearance provided some of the pre-war "trimmings" are omitted and the elevation simplified as shown. The design is simple in construction and can be built semi-detached if required.

The cover design to this book shows the same plan mirror reversed and the garage included under the main roof. This is an example of the adaptability that can be given to certain plans when professional skill is brought to bear upon a particular problem.

Floor Area :

650 ft. super—excluding garage (cover design).

Approximate Cost :

£2,000-£2,250 or say £2,550 with garage.

Minimum Site Width :

38 ft. or 45 ft. with garage as cover design.

Suitable Aspect :

All except north.

Construction :

11-inch hollow brickwork with sand faced facings, plain dark brown tiled roof with bonnet hips and thermal insulation, galvanised steel windows in wood surrounds, wide projecting picture window to lounge, projecting porch having glazed front and return with brick built flower box.

HOMEFINDER DESIGN No. 18

Like design No. 13, this bungalow again has a contemporary type plan with circulation space in hall and passages reduced to a minimum, although the separation of the drainage and plumbing units which frequently is necessary is, in this case, avoided. The dining room can be open to the kitchen or cut off with either a serving hatch or pass door to suit individual preferences. Note the small square hall with its cloakroom.

Three pairs of opening out casement doors are shown to form the window to the lounge but a more conventional window, preferably as a picture window, could be provided as required. The long simple roof serving to resolve the various planes on the elevation is very attractive.

Floor Area :

Approximately 950 ft. super.

Approximate Cost :

£2,850-£3,200.

Minimum Site Width :

50 ft. or 55 ft. if garage required.

Suitable Aspect :

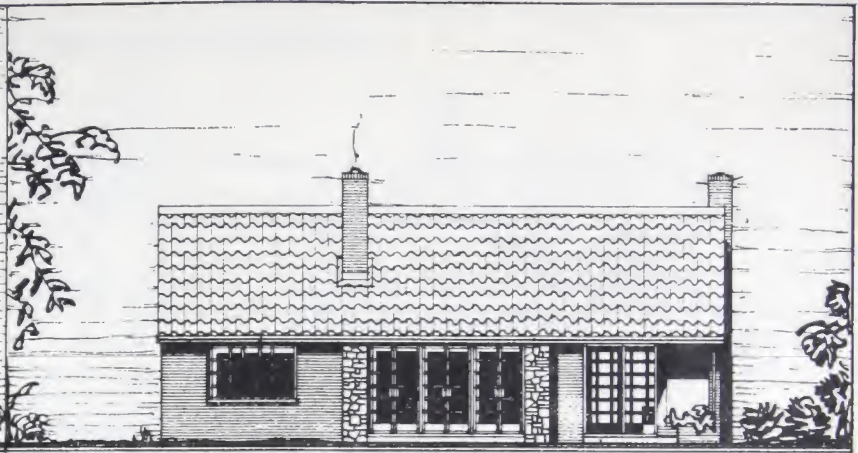
All except north.

Construction :

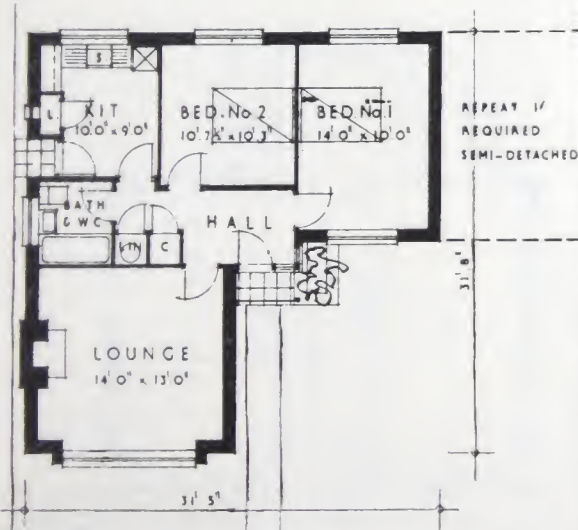
11-inch hollow brickwork. Yellow or multi-coloured stock facings, random stone piers each side of lounge window, colour washed textured brickwork to recessed porch, interlocking or Roman tiled roof with gable ends, thermal insulation, back boiler to lounge fireplace, radiators in bedrooms, immersion heater in hot water cylinder in linen cupboard.



FRONT ELEVATION

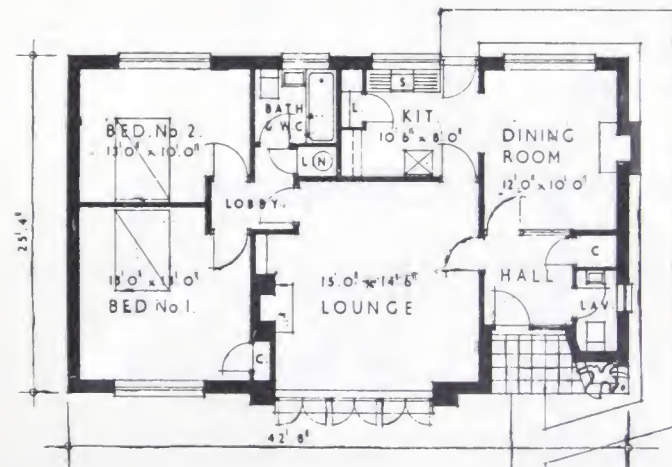


FRONT ELEVATION



HOMEFINDER
DESIGN No. 17

SCALE OF FEET



HOMEFINDER
DESIGN No. 18

HOMEFINDER DESIGN No. 19

This design is included as an example of a chalet bungalow where, for instance, because of infirmity or illness it is thought desirable to have a large bedroom and the bathroom and w.c. on the ground floor and where two other bedrooms could be provided on the first floor.

The spacious lounge 20 ft. by 12 ft. has the fireplace arranged on the inner wall next to the hall fitted with a continuous burning inset stove or open fire with back boiler connected to the linen cupboard adjacent and to hot water radiators. An open fireplace is provided in the ground floor bedroom, the flues from both rooms being carried up and arched over to form one chimney stack through the main roof.

The two bedrooms on the first floor are each provided with a dormer window on the front elevation, although if the site width was sufficient, it would be possible to rely upon side windows in the gable ends to light and ventilate the rooms, in which case the two dormer windows could be omitted, retaining only the centre window which lights the staircase.

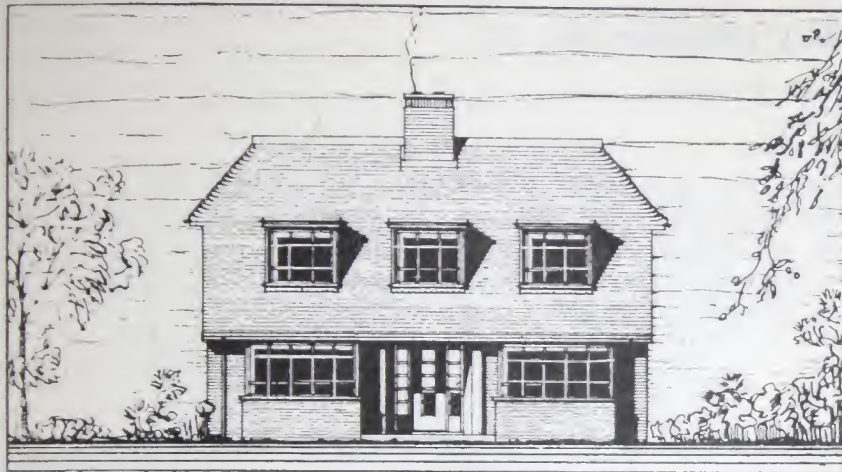
Floor Area : 1,185 ft. super.

Approximate Cost : £3,250-£3,600.

Minimum Site Width : 40 ft. or 45 ft. if garage required.

Suitable Aspect : All except north.

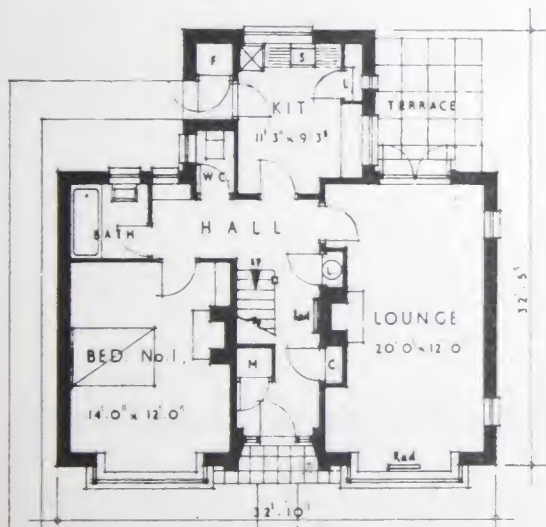
Construction : 11-inch hollow brickwork, multi-coloured stock facings, cement rendered or colour washed textured brickwork to recessed porch feature, tiled roof with thermal insulation, standard steel casement windows in wood surrounds, bay windows front elevation covered by eaves of sloping roof.



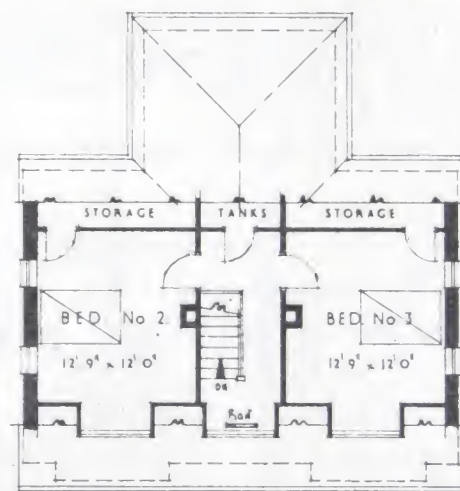
FRONT ELEVATION



CROSS SECTION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

SCALE OF FEET

HOMEFINDER DESIGN No. 19

HOMEFINDER DESIGN No. 20

Architect : J. Scott Thompson, A.R.I.B.A.

Although not in the truest sense a bungalow, this design has been included owing to the unusual amount of interest which has been shown in this solution to the low cost housing problem. The basic principle is in the utmost economy of cost in the plumbing and drainage grouped at the front with the bathroom and w.c. on the ground floor. The lounge fireplace is provided with a back boiler connected into the hot water cylinder or tank immediately adjacent in the hall. The cold water cistern is placed at first floor level over the partition between the bathroom and hall. The whole of the plumbing is therefore confined within a very small area.

The roof gives the impression of a bungalow at the front although, as will be seen from the cross-section, the roof is arranged at the full height at the back. The saving in brickwork and reduction in cubical contents is therefore very apparent.

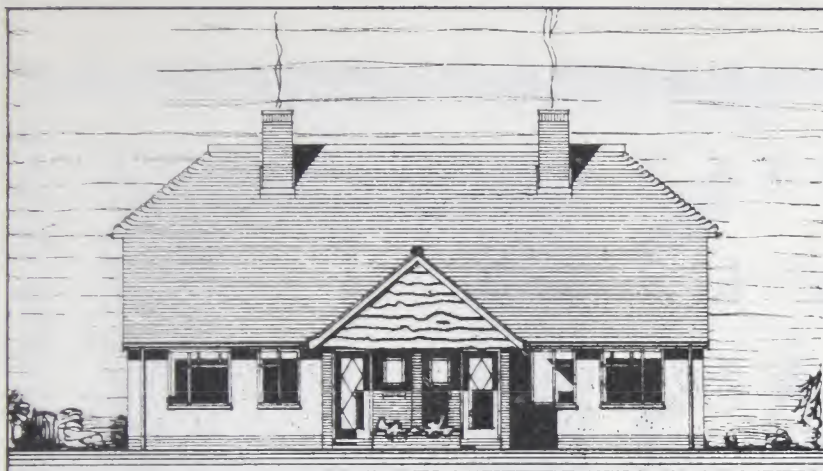
The lounge is provided with a serving hatch for meals from the kitchen and, with a length of over 20 ft., is capable of being used as an all purpose room, particularly where economy in construction has to be considered. The design is shown as semi-detached, but it could be adapted as a single unit if required and yet remain attractive.

Floor Area : 710 ft. super per unit, excluding store and fuel.

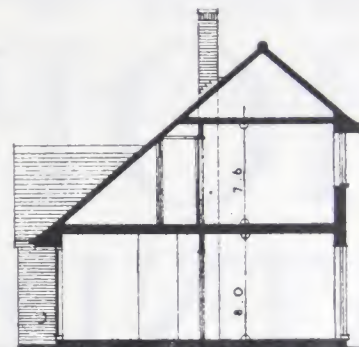
Approximate Cost : £1,500-£2,000 per unit.

Minimum Site Width : 30 ft. or 50 ft. semi-detached. Additional width required if garages required.

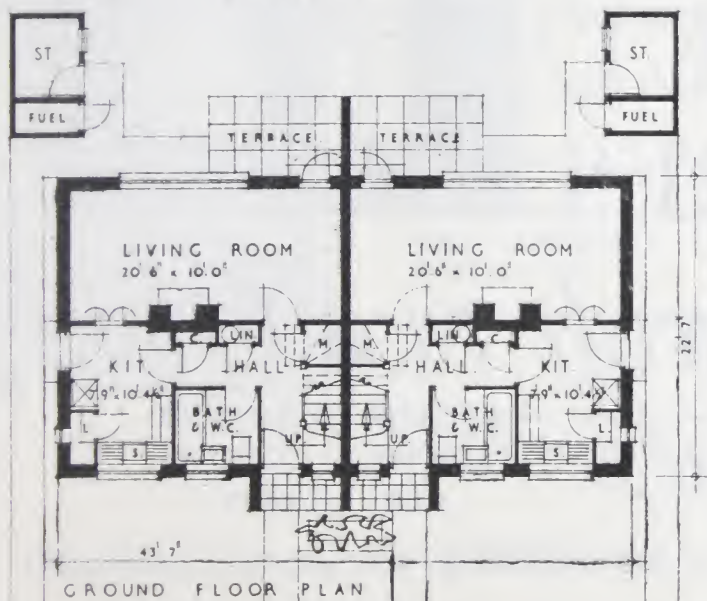
Construction : 11-inch hollow brickwork cement rendered above facing brick plinth and to all walls except porch, steel windows in wood surrounds, french casement door to terrace, plain tiled roof with thermal insulation, cupboards in roof space, projecting porch with gable faced in elm boarding.



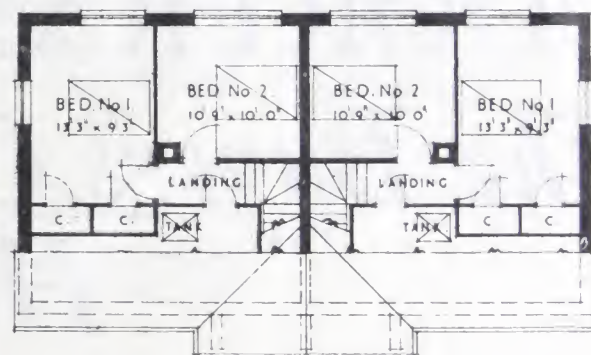
FRONT ELEVATION



CROSS SECTION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

SCALE OF FEET

HOMEFINDER DESIGN No 20

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